

199  
COOPERS NECK LANE  
SOUTHAMPTON  
NEW YORK



*BESPOKE*  
REAL ESTATE





199 COOPERS NECK IS A VISION OF HISTORIC  
ALLURE MELDING WITH MODERN MAGNIFICENCE  
ON WHAT HAS BEEN WRITTEN AS THE MOST  
EXCLUSIVE HAMPTONS STREET, ONLY  
3 DOORS TO THE BEACH



OWN A HOME OF CLASSIC PEDIGREE, ENHANCED  
BY THE HIGHEST STANDARDS OF MODERN LUXURY



## 199 COOPERS NECK LANE

SOUTHAMPTON, NEW YORK

199 Coopers Neck Lane is a vision of historic allure melding with modern magnificence on what has been written as the most exclusive Hamptons street, 3 doors to the beach and a short distance to Southampton Village.

A special showplace with exceptional possibilities - this grand and rare turn-of-the-century country manor, set on 3 bucolic acres in the Village's sought-after estate enclave, was built in 1910 and masterfully designed and crafted by the esteemed 20th century architect, Grosvenor Atterbury. The current owner has painstakingly cleared the entire interior canvas and commissioned meticulous plans by renowned architect Arthur Fraser, portraying what a complete renovation would look like.

Going to this extent to thoughtfully reconfigure the layout and propose plans for reconstruction incorporating top-of-the-line features and amenities will save the prospective purchaser an inordinate amount of time and expense in reinventing the ultimate luxury residence. You can choose to carry out the proposed unique vision of superlative modern-day aesthetics, or imagine your own in this one-of-a-kind offering.

The architectural plans, available for your viewing, show the potential to expand the generously proportioned 14,000 + SF residence that currently exists, to over 15,100 SF of sophisticated living space with 10 bedrooms, 10 full baths and 3 half baths. Soaring ceilings, sweeping staircases, charming fireplaces, floor-to-ceiling windows, dramatic main rooms and intimate family quarters are among the many highlights suggested for the refined level of living that awaits your customization. Indoor-outdoor entertaining is optimized with seamless access to outdoor patios and a 40 x 20 heated gunite pool via French doors affording a breathtaking resort-like setting.

Beyond a secure gated entry, sprawling, private hedge-lined grounds are graced by pristine landscaping and mature specimen plantings. Plans are also in place for a new custom, repositioned pool pavilion with an 875 SF pool house and distinctive outdoor areas, making way for more expansive lawn space, room for an on-site tennis court, and a dedicated entranceway to the new two story, three car, 1,270 SF garage as illustrated.

Own a home of classic pedigree, enhanced by the highest standards of modern luxury.

FOLLOW THIS PROPERTY ON INSTAGRAM  
[#199CoopersNeckLaneSouthampton](#)

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# FEATURES & AMENITIES

199 Coopers Neck Lane, Southampton

\$16,800,000 EXCLUSIVE.

## OVERVIEW

- 3 Acres
- 3 Doors to the Beach
- Southampton Estate Section
- Expansive Lawn Space
- Secluded Hedge Lined Property
- Mature Trees
- Gated Entry

## CURRENT HOUSE

- Built in 1910
- Architect: Grosvenor Atterbury
- Historic Estate
- Renovation Ready - Totally Cleared Interior in 2017
- 14,000 SF+/-
- 11 Bedrooms
- 12 Bathrooms
- 9 Fireplaces
- 40x20 Heated Gunite Pool
- Pool House
- Floor-to-Ceiling Windows
- 3-Car Garage
- Room for Tennis

## PROPOSED RENOVATION + ADDITION COMPLETE WITH PLANS

- Proposed Plans Provided by Arthur Fraser Architects
- 15,100 SF+/- Above Grade
- 875 SF+/- Lower Level
- 10 Bedrooms
- 10 Full and 3 Half Bathrooms
- Room for Tennis
- 1,270 SF+/- Garage
- 875 SF+/- Pool House

## FIRST LEVEL

- Entry Foyer with Powder Room
- Living Room with Two Fireplaces and Access to Outdoor Patio
- Gallery with Patio Access
- Dining Room with Fireplace and Patio Access
- Center Foyer
- Kitchen
- Family Room with Fireplace
- Gallery with Powder Room
- Elevator
- Mudroom with Fireplace
- Kitchenette
- Three Car Garage with Laundry, Powder Room and Storage

## SECOND LEVEL

- Master Bedroom with Study/Dressing Room, Two Master Closets, Fireplace, Balcony and Master Bathroom
- Bedroom with Full Bathroom and Fireplace
- Family Room
- Bedroom with Walk-in Closet and Full Bathroom
- Two Bedrooms with Full Bathrooms
- Elevator

### Second Floor Garage (Two Layout Options):

- Bedroom with Two Closets
- Kitchenette
- Full Bathroom
- Sitting Room
- Storage

## THIRD LEVEL

- Three Bedrooms with Full Bathrooms and Built-in Closets
- Laundry Room
- Hall Closet
- Bedroom with Walk-in Closet and Full Bathroom with Water Closet

## LOWER LEVEL

- 2,000+ Bottle Wine Cellar with Glass Partition Option
- Equipment Room





A GRAND AND RARE TURN-OF-THE-CENTURY  
COUNTRY MANOR, SET ON 3 BUCOLIC ACRES  
IN THE VILLAGE'S SOUGHT-AFTER  
ESTATE ENCLAVE





A SPECIAL SHOWPLACE WITH  
EXCEPTIONAL POSSIBILITIES



## BACK EXTERIOR

PROPOSED CONCEPT

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## PROPOSED PLANS

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The architectural plans show the potential to expand the generously-proportioned 14,000+ square foot residence that currently exists, to over 15,100 square feet of sophisticated living space with 10 bedrooms, 10 full baths and 3 half baths. Soaring ceilings, sweeping staircases, charming fireplaces, floor-to-ceiling windows, dramatic main rooms and intimate family quarters are among the many highlights suggested for the refined level of living that awaits your customization.



MAIN ENTRANCE  
PROPOSED CONCEPT

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# FRONT EXTERIOR

PROPOSED CONCEPT

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OUTDOOR PAVILION  
PROPOSED CONCEPT

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POOL +  
OUTDOOR PATIO

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Plans are also in place for a new custom, repositioned pool pavilion with an 875 square foot pool house and distinctive outdoor areas, making way for more expansive lawn space, and room for an on-site tennis court.



# LOCATION

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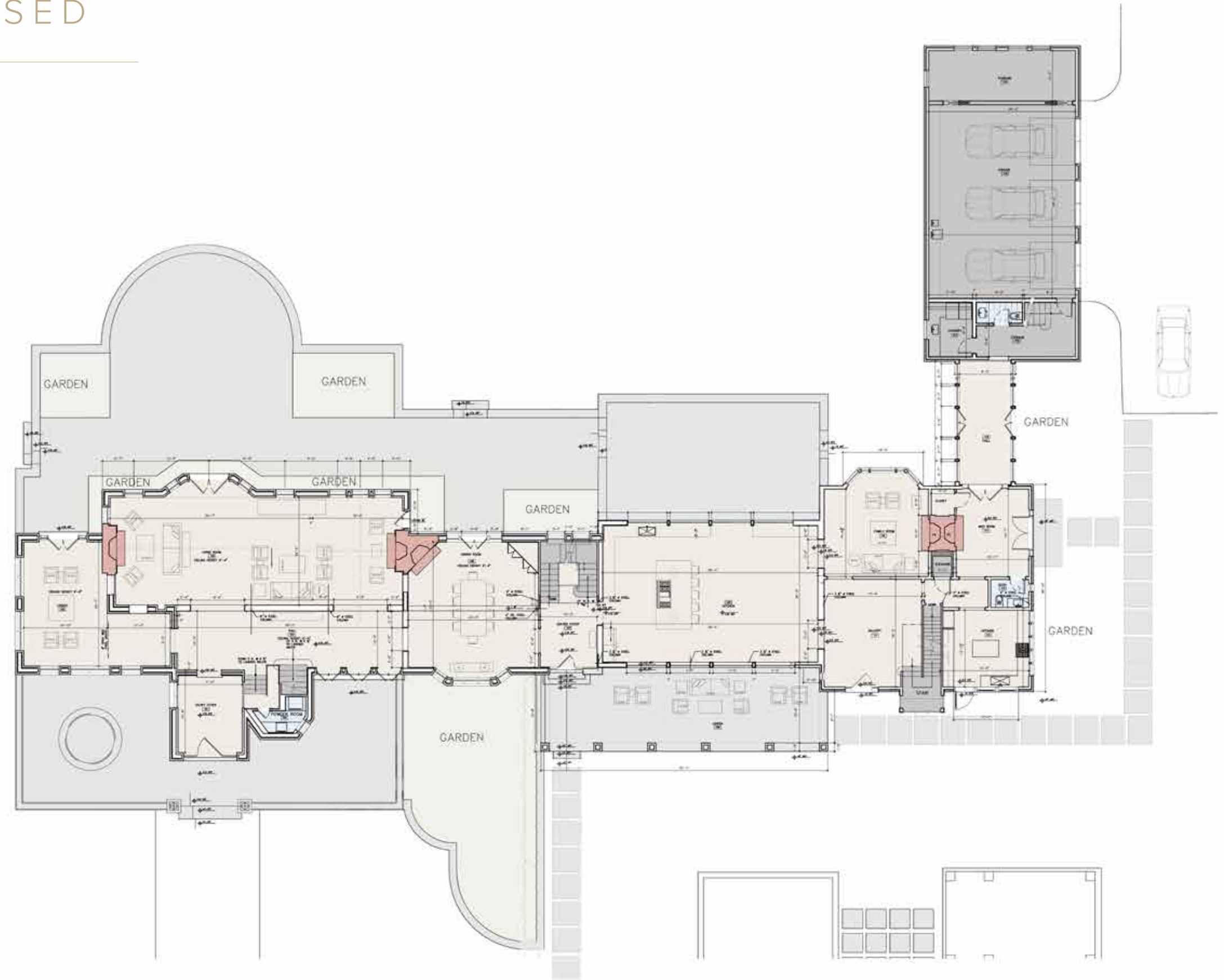
An excellent location puts residents only 3 doors away from the beach and within easy access of Southampton's Main Street and the surrounding villages.





# FIRST LEVEL PROPOSED

- Entry Foyer with Powder Room
- Living Room with Two Fireplaces and Access to Outdoor Patio
- Gallery with Patio Access
- Dining Room with Fireplace and Patio Access
- Center Foyer
- Kitchen
- Family Room with Fireplace
- Gallery with Powder Room
- Elevator
- Mudroom with Fireplace
- Kitchenette
- Three Car Garage with Laundry, Powder Room and Storage



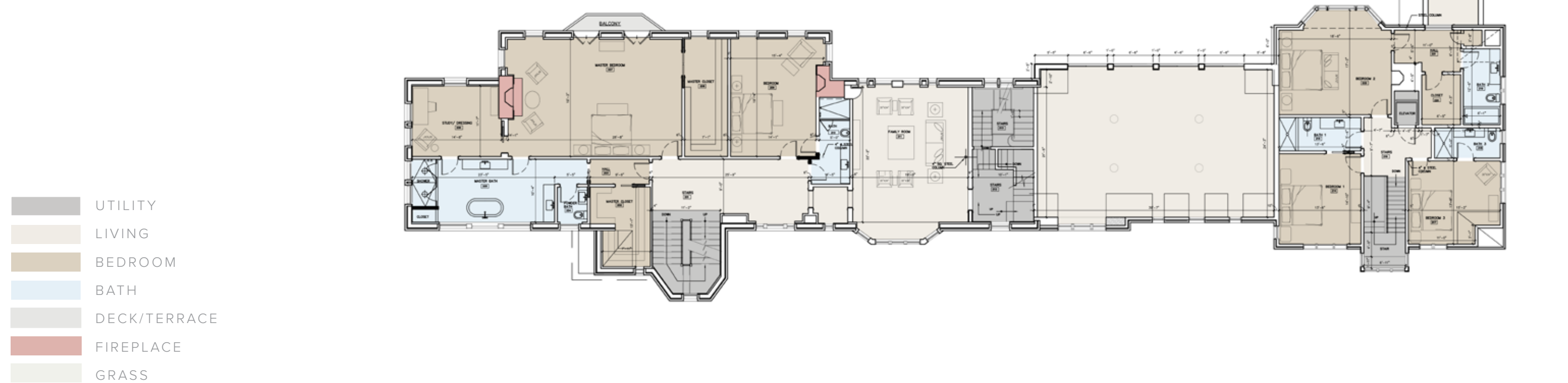


# SECOND LEVEL PROPOSED

- Master Bedroom with Study/Dressing Room, Two Master Closets, Fireplace, Balcony and Master Bathroom
- Bedroom with Full Bathroom and Fireplace
- Family Room
- Bedroom with Walk-in Closet and Full Bathroom
- Two Bedrooms with Full Bathrooms
- Elevator

## Second Floor Garage (Two Layout Options):

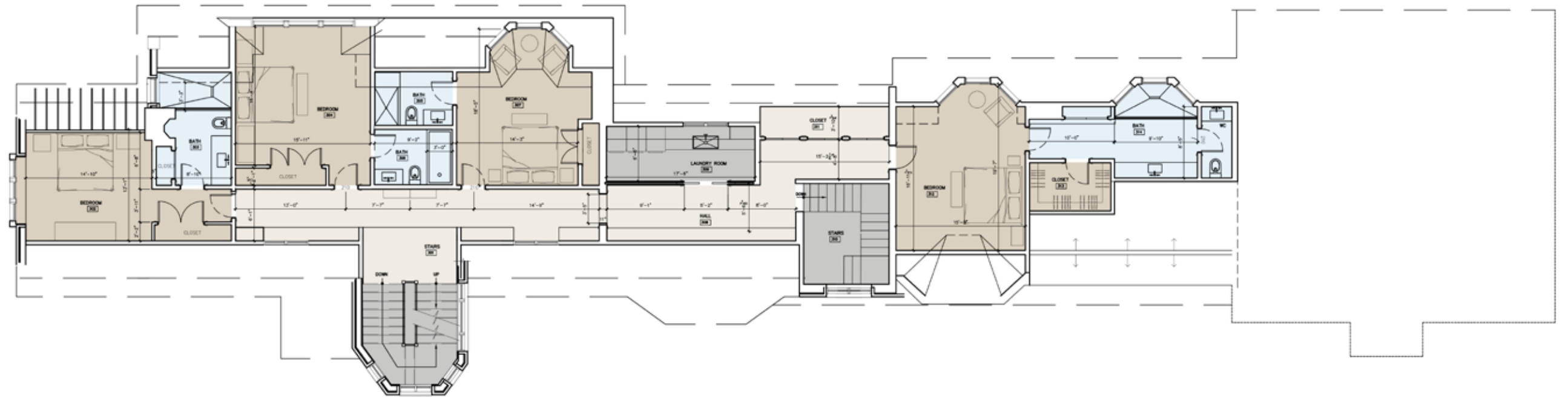
- Bedroom with Two Closets
- Kitchenette
- Full Bathroom
- Sitting Room
- Storage





# THIRD LEVEL PROPOSED

- Three Bedrooms with Full Bathrooms and Built-in Closets
- Laundry Room
- Hall Closet
- Bedroom with Walk-in Closet and Full Bathroom with Water Closet

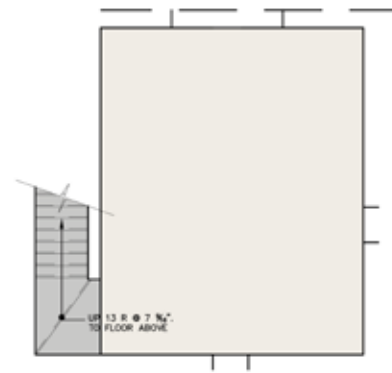


- UTILITY
- LIVING
- BEDROOM
- BATH
- DECK/TERRACE
- FIREPLACE
- GRASS



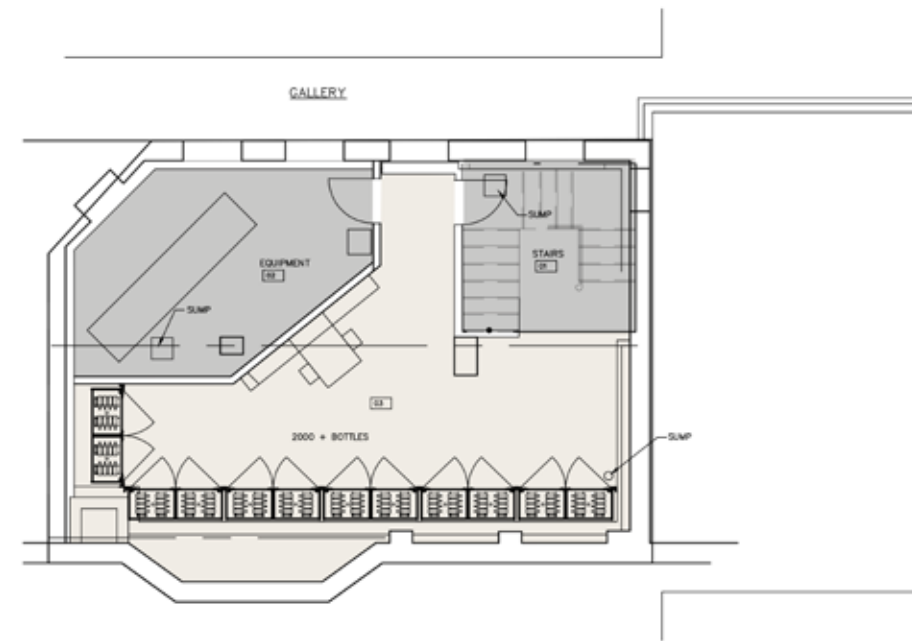
# BASEMENT PROPOSED

- 2,000+ Bottle Wine Cellar with Glass Partition Option
- Equipment Room

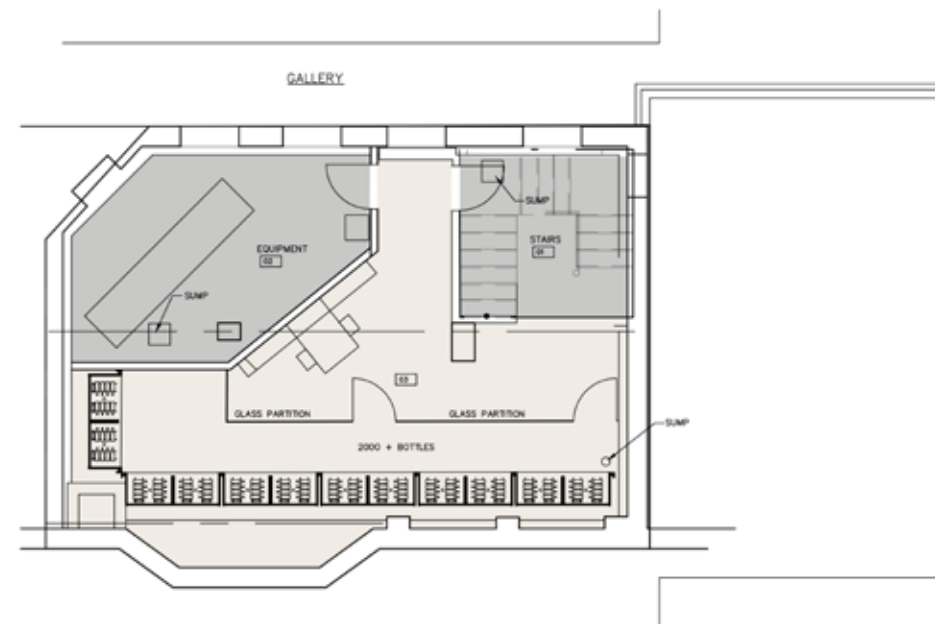


- UTILITY
- LIVING
- BEDROOM
- BATH
- DECK/TERRACE
- FIREPLACE
- GRASS

BASEMENT PROPOSED OPTION 1



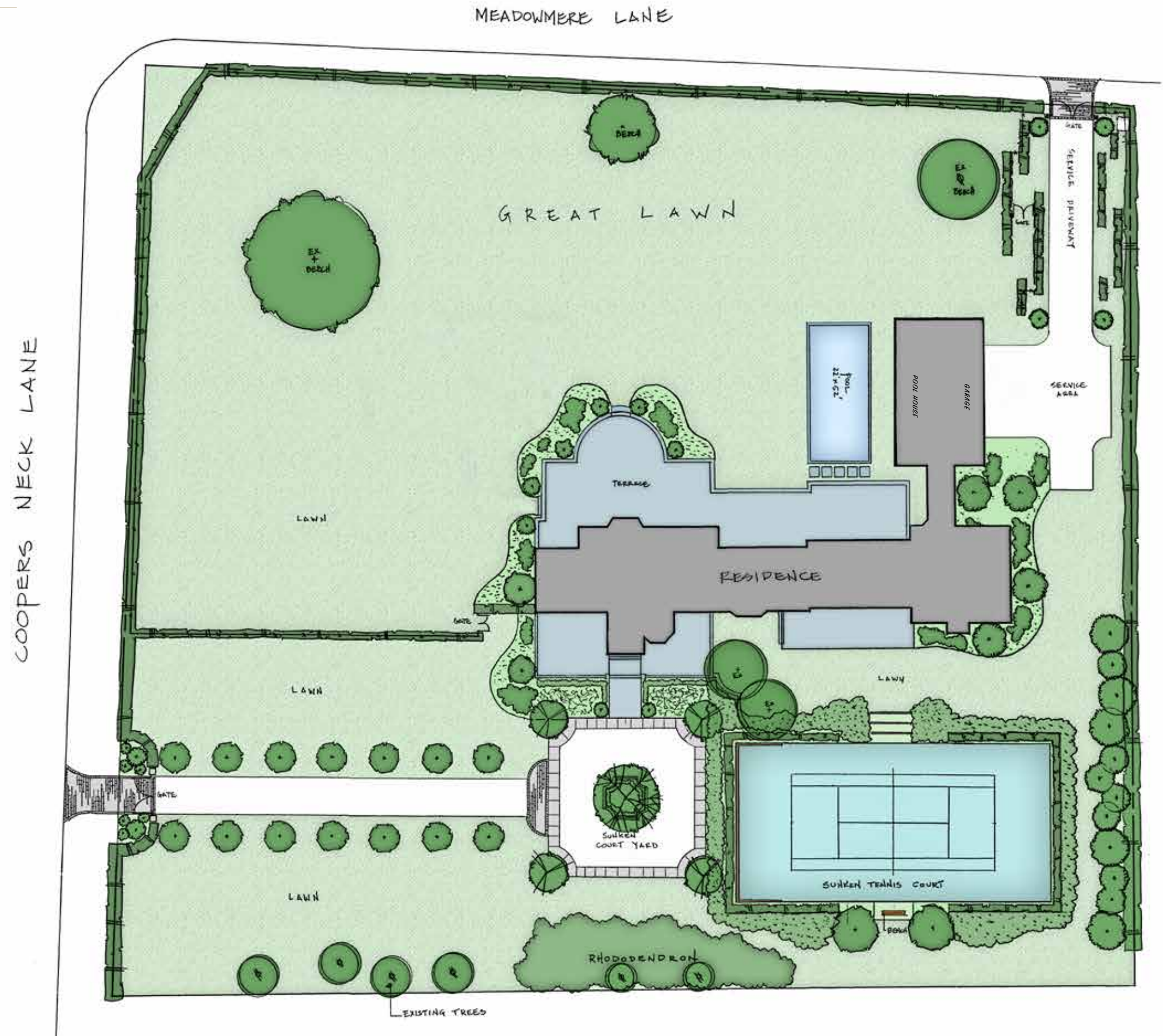
BASEMENT PROPOSED OPTION 2





# SITE PLAN PROPOSED

- Heated Gunite Pool
- Pool House/Cabana
- Two Driveways
- Three Car Garage
- Ample Lawnspace
- Room For Tennis
- Mature Gardens
- Deck/Patio







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FOR MORE INFORMATION, PLEASE CONTACT  
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